



CITY OF GRAND PRAIRIE

City Hall
300 W. Main Street
Grand Prairie,
Texas

Meeting Agenda

Planning and Zoning Commission Meeting

Monday, April 22, 2024

5:30 PM

City Hall - Briefing Room

BRIEFING SESSION

It is the intent of the Planning and Zoning Commission to be briefed by staff, and that all items on the agenda shall be available or open for discussion during the Briefing Session. The Planning and Zoning Commission may ask applicants and other interested parties for information or presentations. All interested parties are invited to attend. Briefings are taped.

Call to Order

EXECUTIVE SESSION

The Planning and Zoning Commission may conduct a closed session, if needed, in accordance with Texas Government Code Section 551.071 "Consultation with Attorney" to discuss legal matters pertaining to agenda items. Any final action will be taken during open session.

Agenda Review

6:30 PM Council Chambers

REGULAR MEETING

Call to Order

Invocation

Pledge of Allegiance

CITIZEN COMMENTS

Citizens may speak during Citizen Comments for up to five minutes on any item not the agenda by completing and submitting a speaker card.

PUBLIC HEARING CONSENT AGENDA

Items listed on the Public Hearing Consent Agenda are considered to be routine and will be approved by one motion and one vote. There will be no separate discussion of the Public Hearing Consent Agenda items unless requested. If discussion is desired on an item, it will be considered separately. The Commission may ask questions of those present on an item from the Public Hearing Consent Agenda.

1. Approval of Minutes of the April 08, 2024 P&Z meeting

2. PLT-24-03-0016 – Final Plat - Prose Westcliff (City Council District 2). Final Plat for a multi-family development on 14.159 acres. Lots 1-4 of Vickery Place Addition, a portion of Tract 4, J.W.E. Wallace Survey, Abstract No. 1517, and a portion of Tract 12, Benjamin F. Smith Survey, Abstract No. 1337, City of Grand Prairie, Dallas County, Texas, zoned PD-449, within IH-20 Corridor Overlay District, and addressed as 1150 E IH 20

ITEMS FOR INDIVIDUAL CONSIDERATION

3. STP-24-03-0014 - Site Plan Amendment– Walmart #4503 - 2650 S Hwy 161 (City Council District 2). Site Plan Amendment for an existing retail development on 19.62 acres. Lot 1, Block A, Bush & Pioneer Centre, City of Grand Prairie, Dallas County addressed as 2650 SH-161

PUBLIC HEARING

Members of the public may address the Commission on items listed on the agenda under Public Hearing Items. Persons wishing to address the Commission must first complete a request to speak card. A person may also use the request to speak card to indicate his or her support or opposition to a case without speaking. Cards may be picked up at the desk by the entrance to the City Council Chambers and may be deposited at the desk or given to a staff member. Speaking time is generally limited to five minutes per speaker. Per the by-laws of the Planning and Zoning Commission, the applicant and those favoring the request shall have a maximum of 30 minutes, including rebuttal, to present their arguments for the request. Those in opposition to a request shall have a maximum of 30 minutes to present their arguments against the request. When a large group is present, it is encouraged that representatives be appointed to speak for the group so that redundant testimony is minimized. Commissioners may have questions of those speaking at the public hearing. The time used to answer the Commission's questions will not be deducted from the allotted 30 minutes. These rules may be temporarily suspended, in whole or in part, by a unanimous vote of the Commission.

4. SUP-24-02-0007 - Specific Use Permit - Registered Group Home at 326 Swallowtail Court (City Council District 6). Specific Use Permit for a registered group home on 0.16 acres. Lot 16, Block A, Westchester Glen Addition, City of Grand Prairie, Dallas County, zoned Planned Development (PD-245), and addressed as 326 Swallowtail Court
5. SUP-24-03-0013 - Specific Use Permit - Fiesta Kids Play (City Council District 2). Specific Use Permit request for a Special Event Center in an existing commercial lease space at Carrier Towne Crossing. Lot 5, Block 1, Carrier Towne Crossing Addition, City of Grand Prairie, Dallas County, Texas, zoned PD-223, within the IH-20 Corridor Overlay, and addressed as 594 W. IH 20, Suite 235
6. ZON-24-03-0008 - Zoning Change/Concept Plan. Zoning Change creating a Planned Development District for Light Industrial including Data Center uses. 1,430.794 acres generally located west of HWY 287, south of Prairie Ridge Blvd, Parcel IDs 190600, 181262, 261509, 261512, 193077, 179637, 291089, 277740, 179561, 179552, 186391, 242136, City of Grand Prairie Extraterritorial Jurisdiction, Ellis County, Texas
7. ZON-24-03-0007 - Zoning Change/Concept Plan. Zone Change creating a Planned Development District for Residential, Mixed-Use, Open Space, and Data Center uses. 309.794

acres located west of HWY 287, north and south of Prairie Ridge Blvd, partially zoned Agriculture, Parcel IDs 284558, 190585, 245944, 290818, 190600, 190602, 190596, City of Grand Prairie and City of Grand Prairie Extraterritorial Jurisdiction, Ellis County, Texas

ADJOURNMENT

The City Hall is wheelchair accessible. If you plan to attend this public meeting and you have a disability that requires special arrangements, please call 972-237-8255 at least 24 hours in advance. Reasonable accommodations will be made to assist your needs.

MESSAGE OF RELIGIOUS WELCOME

As many of you are aware, we customarily begin our meetings with an invocation. This prayer is intended for the benefit of the board members and is directed to them and not the audience. Those who deliver the invocation may reference their own religious faith as you might refer to yours when offering a prayer. We wish to emphasize, however, that members of all religious faiths are welcome, not only in these meetings, but in our community as well. The participation of all our citizens in the process of self-government will help our fine city best serve the good people who live here. Employees and audience members are welcome to pray or not pray, and this choice will have no bearing on any vote made by the board.

Certification

In accordance with Chapter 551, Subchapter C of the Government Code, V.T.C.A, the Planning and Zoning Commission agenda was prepared and posted April 19, 2024.



Monica Espinoza, Planning Secretary



**CITY OF GRAND PRAIRIE
COMMUNICATION**

MEETING DATE: 04/22/2024

REQUESTER: Monica Espinoza, Administrative Supervisor

PRESENTER: Savannah Ware, AICP, Chief City Planner

TITLE: Approval of Minutes of the April 08, 2024 P&Z meeting

RECOMMENDED ACTION: Approve



CITY OF GRAND PRAIRIE

City Hall
300 W. Main Street
Grand Prairie,
Texas

Meeting Minutes

Planning and Zoning Commission Meeting

Monday, April 08, 2024

5:30 PM

City Hall - Briefing Room

BRIEFING SESSION

Chairperson Smith called the Briefing meeting to order at 5:39 p.m.

Call to Order

PRESENT

- Chairperson Cheryl Smith
- Commissioner John Fedorko (entered meeting at 6:14 p.m.)
- Commissioner Ana Coca
- Commissioner Michelle Madden
- Commissioner Frank Gonzalez
- Commissioner CJ Ramirez
- Commissioner Christopher Okoli
- Commissioner Tai Jones-Chapman

ABSENT

- Vice Chairperson Julia Perez

Agenda Review

Staff briefed commissioners on cases. Commissioners inquired if this request was similar to the case from last year, which the Council denied. The staff explained minor changes. Commissioners expressed concerns about proximity to surrounding businesses that were open to the general public for items seven and eight.

EXECUTIVE SESSION

Chairperson Smith called a closed session at 6:08 p.m. in accordance with Texas Government Code Section 551.071 "Consultation with Attorney" to discuss legal matters pertaining to agenda items seven and eight. Closed session ended at 6:28 p.m.

6:30 PM Council Chambers

REGULAR MEETING

Chairperson Smith called the meeting to order at 6:35 p.m.

Call to Order

PRESENT

Chairperson Cheryl Smith
 Commissioner John Fedorko
 Commissioner Ana Coca
 Commissioner Michelle Madden
 Commissioner Frank Gonzalez
 Commissioner CJ Ramirez
 Commissioner Christopher Okoli
 Commissioner Tai Jones-Chapman

ABSENT

Vice Chairperson Julia Perez

Commissioner Coca led the Invocation.

Chairperson Smith led the Pledge of Allegiance to the US Flag and Texas Flag.

CITIZEN COMMENTS

There were no citizen comments.

PUBLIC HEARING CONSENT AGENDA

Motion made by Commissioner Fedorko, Seconded by Commissioner Gonzalez to close the public hearing and approve items one through four. The motion carried unanimously.

1. Approval of Minutes of the March 25, 2024 P&Z meeting

Approved on Consent Agenda

2. PLT-24-02-0011 - Final Plat - Heritage Towne Phase II Addition (City Council District 6). Final Plat of Lot 1X, Block K, Heritage Towne Phase II Addition, creating one open space lot on 3.018 acres. A portion of a tract out of the Joseph Lawrence Survey, Abstract No. 616, City of Grand Prairie, Ellis County, zoned PD-399A, and generally located north of Davis Drive and east of Eva Mae Boulevard

Approved on Consent Agenda

3. PLT-24-02-0010 - Final Plat – Constellation Ave K Addition (City Council District 1). Final Plat of Lot 1, Block 1, Constellation Ave K Addition, creating one industrial lot on 10.0018 acres. Site 1A and a portion of Site 1, Block 5, GISD Community No. 5 Addition, Second Installment Addition, City of Grand Prairie, Tarrant County, Texas, zoned Light Industrial, and located at 901 Avenue K East

Approved on Consent Agenda

4. PLT-24-02-0014 – Residential Replat – 310 Trigg Street (City Council District 5). Residential Replat of Lot 11-R1A & 11-R1B, Block R, Grand Prairie Estates Addition, creating two residential lots on 0.335 acres. Lot 11R-1, Block R, Grand Prairie Estates Addition, City of Grand Prairie, Dallas County, Texas, zoned Single Family-Four Residential District, and addressed as 310 Trigg St

Approved on Consent Agenda

PUBLIC HEARING POSTPONEMENT, RECESS, CONTINUATIONS

Motion made by Commissioner Fedorko, Seconded by Commissioner Gonzalez to close the public hearing and table item five to the next P&Z meeting 04/22/2024. The motion carried unanimously.

5. SUP-24-02-0007 - Specific Use Permit - Registered Group Home at 326 Swallowtail Court (City Council District 6). Specific Use Permit for a registered group home on 0.16 acres. Lot 16, Block A, Westchester Glen Addition, City of Grand Prairie, Dallas County, zoned Planned Development (PD-245), and addressed as 326 Swallowtail Court

Tabled

ITEMS FOR INDIVIDUAL CONSIDERATION

6. STP-24-02-0012 - Site Plan - Sonic (City Council District 5). Site Plan for a Restaurant with a Drive-Through, a Covered Outdoor Dining area, and a Playground on 1.283 acres. Portions of Block 59, Dalworth Park Addition, City of Grand Prairie, Dallas County, Texas, zoned General Retail (GR), and addressed as 814 & 818 W Main St

Senior Planner Abdul Ghous presented the case report and gave a power point presentation. He stated the applicant intends to construct a 1,891 sq. ft. drive-through restaurant with outdoor dining and a playground, including 32 parking spaces. The applicant is not requesting any variances. The Development Review Committee (DRC) recommends approval.

Motion made by Commissioner Ramirez, Seconded by Commissioner Chapman to close the public hearing and approve item STP-24-02-0012. The motion carried unanimously.

PUBLIC HEARING

Senior Planner June Sin stated the following cases seven and eight would be presented together but voted on separately.

7. ZON-24-02-0006 - Zoning Change - Private Card Room for Palace Poker (City Council District 1). Amendment to PD-217 to create a definition of a Private Card Room and amend the uses permitted within PD-217 to allow a Private Card Room with City Council approval of a Specific Use Permit. Tract 31, Michael Farrans Survey, Abstract, No. 469, City of Grand Prairie, Dallas County, Texas, zoned PD-217, within IH 30 Corridor Overlay District, and addressed a 401 E Palace Pkwy

8. SUP-24-02-0008 - Specific Use Permit - Private Card Room for Palace Poker (City Council District 1). Specific Use Permit for a Private Card Room on 7.92 acres. Tract 31, Michael Farrans Survey, Abstract, No. 469, City of Grand Prairie, Dallas County, Texas, zoned PD-217, within IH 30 Corridor Overlay District, and addressed as 401 Palace Pkwy

Senior Planner June Sin presented the case report for item seven and gave a power point presentation. She stated the purpose of the request is to amend PD-217 to create a definition of a Private Card Room and amend the uses permitted within PD-217 to allow a Private Card Room with City Council approval of a Specific Use Permit. Staff takes no position on the zoning change, but notes the use is consistent with entertainment uses currently permitted in PD-217.

Senior Planner June Sin presented the case report for item eight and gave a power point presentation. She stated the applicant intends to operate a Private Card Room, which requires City Council approval of a Specific Use Permit. The purpose of the Specific Use Permit process is to identify those uses which might be appropriate within a zoning district, but due to either their location, functional or operational nature, could have a potentially negative impact upon surrounding properties; and provide for a procedure whereby such uses might be permitted by further restricting or conditioning them to eliminate such probable negative consequences.

Staff takes no position on the Specific Use Permit, but recommends the following conditions should the Planning and Zoning Commission recommend approval of the request:

- 1. Individuals under the age of 21 shall not be permitted inside the location.*
- 2. The private card room shall check identification at the entrance to ensure all individuals entering the private card room are members and at least 21 years of age.*
- 3. The membership shall be a minimum of three months. Membership must be limited in number and may not be transferable.*
- 4. The private card room shall have security personnel, licensed in accordance with the Texas Occupations Code, on-site at all times the business is open, or any employee is present.*
- 5. The private card room shall have a silent panic or holdup alarm system for which a permit has been issued in accordance with chapter 17, article III of the Code of Ordinances. This system shall, at a minimum, include two panic buttons. One panic button must be located within reach of the cash cage and the other must be located at a place where the entrance is visible. The panic buttons shall be out of view of the customers. Such panic buttons shall generate an alarm signal indicating a holdup or other life-threatening emergency requiring a police department response.*
- 6. The private card room shall have posted at all public exits and entrances signs or decals indicating that a security alarm system is in use.*

7. *The private card room shall have a drop safe on the premises to keep the amount of cash available to employees to a minimum. A drop safe must be bolted to the floor. A drop safe may have a time-delay mechanism to allow small amounts of change to be removed.*
8. *The private card room shall have a cash accountability policy to limit the amounts of cash easily accessible to employees.*
9. *The private card room shall have digital, high-resolution surveillance cameras which capture high-resolution digital recordings which display the correct date and time of recording and comply with the following:*
 - a. *The cameras shall be located throughout the parking area and interior of the private card room.*
 - b. *At least one camera must have an overall view of the cash cage area, one camera must have a view of the main entrance/exit area of the building, and one camera must have a view of the parking lot entrance/exit.*
 - c. *The parking lot entrance/exit area camera shall be placed to provide a clear and identifiable image of the license plate number of vehicles entering/exiting the parking lot.*
 - d. *The building entrance/exit area camera shall be placed to provide a clear and identifiable full frame of the filmed individual's face.*
 - e. *The cameras and recording system shall be operated at all times, including hours when the private card room is not open for business.*
 - f. *The owner shall provide the police department with digital color images in connection with crime investigations upon request.*
 - g. *The owner shall maintain a library of the recorded digital images for not less than thirty (30) days.*
10. *A private card room shall have posted, at or near the cash cage signs or decals indicating that surveillance cameras are in use.*
11. *Prior to beginning operations as a private card room and at least every year thereafter, the Grand Prairie Police Department shall be allowed to complete a Crime Prevention Through Environmental Design Survey.*
12. *If a court whose jurisdiction is binding upon the location where the property is located issues a judgment or the Criminal District Attorney whose office is responsible for prosecuting criminal offenses occurring at the location where the property is located issues a statement or other opinion and said judgment, statement, or opinion finds that any operations of the type included in the operational plan are a violation of the Texas Constitution, Texas Penal Code laws, or any other state law, this Specific Use Permit*

and all authority to operate as a Private Card Room shall be reviewed by the Grand Prairie City Council which may elect to amend or revoke this Specific Use Permit.

13. *If an amendment to state or federal law would make any operations of the type included in the operational plan a violation of law, this Specific Use Permit and all authority to operate as a Private Card Room shall be reviewed by the Grand Prairie City Council which may elect to amend or revoke this Specific Use Permit.*
14. *The operation of the facility shall be in strict compliance with all applicable laws and the requirements of the Environmental Services Department, Building Inspections, Police Department and Fire Administration.*
15. *Any unsafe or unauthorized operations or activities may be determined as grounds for revocation of the Specific use Permit by the City Council.*
16. *The alcohol sales shall follow all TABC regulations and City ordinances as approved by the Public Health and Environmental Quality Department.*
17. *No indoor smoking or smoking within 25 feet of the facility will be allowed unless the applicant obtains a TABC license as a private club. If the operation is classified as a private club, it will comply with all TABC and City ordinances.*

Jonathan Tooley 401 E Palace Pkwy Grand Prairie TX., stepped forward presenting the case and gave a power point presentation. Hamilton Peck 2449 Mountain View Ct Cedar Hill TX., stepped forward presenting the case and continued the power point presentation.

Commissioner Chapman asked will the patrons be screened with metal detectors for weapons. Mr. Peck stated no but there will be armed security guards through out the facility and always patrolling the grounds. Commissioner Chapman asked will poker be the only game being played. Mr. Tooley stated for right now yes but might expand to other games in the future. Commissioner Gonzalez inquired about the membership prices. Mr. Tooley stated they will have competitive prices being as there are about 60 private card clubs in Texas, but it will consist of daily, monthly, and annual membership fees plus seat rentals. Commissioner Fedorko asked will Enterprise share an entrance with the card room. Mr. Tooley stated no. Enterprise will have a separate entrance but will share the parking lot with the private card club. Commissioner Fedorko stated concern with crime in the parking lot surrounding Enterprise and Ripley's. Mr. Peck stated they will have an armed security card always patrolling the parking lot. Commissioners stated concern with this business being so close to family friendly businesses, residential, and schools. Chairperson Smith stated concern with there being a delay with the background check. Mr. Peck stated the counties get the records immediately when someone is convicted of a crime, and it will show up in their system when they run the background check. Commissioner Madden asked how long a background check will take. Mr. Peck stated two to three minutes. Commissioner Madden stated concern with daily memberships bringing in people of a transient nature.

Motion made by Chairperson Smith, Seconded by Commissioner Coca to close the public hearing and deny item ZON-24-02-0006. The motion carried unanimously.

Motion made by Chairperson Smith, Seconded by Commissioner Coca to close the public hearing and deny item SUP-24-02-0008. The motion carried unanimously.

9. SUP-24-02-0010 - Specific Use Permit – Convenience Store at 3725 S Carrier Parkway (City Council District 2). Specific Use Permit for a convenience store in an existing commercial lease space. Tract 2.1, Stephen B McCommas Survey, Abstract No. 887, City of Grand Prairie, Dallas County, zoned General Retail, and addressed as 3725 S Carrier Parkway

Planner Brittany Musser presented the case report and gave a power point presentation. She stated the applicant intends to operate a 1,165 sq. ft. convenience store without gas sales in an existing commercial lease space located at 3725 S Carrier Parkway. A convenience store without gas sales requires a Specific Use Permit. The purpose of the Specific Use Permit process is to identify those uses which might be appropriate within a zoning district, but due to either their location, functional or operational nature, could have a potentially negative impact on surrounding properties; and provide for a procedure whereby such uses might be permitted by further restricting or conditioning them to eliminate such probable negative consequences. The applicant is not requesting any variances. The Development Review Committee (DRC) recommended approval.

Robert Nunez 513 Mulberry Ln Desoto TX., stepped forward presenting the case.

Motion made by Commissioner Madden, Seconded by Commissioner Okoli to close the public hearing and approve item SUP-24-02-0010. The motion carried unanimously.

10. ZON-24-02-0005 - Zoning Change/Concept Plan - Southgate Mixed Use (City Council District 6). An amendment to PD-414A and PD-322A; Zoning Change from Planned Development 322A for mixed-use to Planned Development 414A for Multi-Family, Townhome, Commercial and Office Uses on 3.31 acres, and amendment to certain development standards for PD-414A on 52.793 acres. Being a portion of Property ID 291248, J. Lawrence Survey, Abstract No. 616, and Property ID 242969, J. Lawrence Survey, Abstract No. 616 and Lots 1-3, 4R, 5 and 6, Block A, and Lot 1, Block B, Hanover Southgate Addition, City of Grand Prairie, Ellis County, Texas, zoned PD-414A and PD-322A, and generally located east of State Highway 360 and north of US Highway 287

Planner Brittany Musser presented the case report and gave a power point presentation. She stated the applicant intends to expand the Hanover Southgate development to incorporate an additional 3.13 acres and to update certain existing development standards. The applicant is proposing the same mix of uses in PD-414A for the additional acreage with amendments to certain development standards. The applicant is not requesting any variances. The Development Review Committee (DRC) recommends approval.

John Carter 3001 Knox St Ste 405 Dallas TX., stepped forward representing the case. Connor Osborn 8235 Douglas Ave Dallas TX., stepped forward representing the case.

Motion made by Commissioner Coca, Seconded by Commissioner Gonzalez to close the public hearing and approve item ZON-24-02-0005. The motion carried unanimously.

ADJOURNMENT

Chairperson Smith moved to adjourn the meeting. The meeting adjourned at 7:51 p.m.

Cheryl Smith, Chairperson

ATTEST:

John Fedorko, Secretary



CITY OF GRAND PRAIRIE COMMUNICATION

MEETING DATE: 04/22/2024
REQUESTER: Monica Espinoza, Administrative Supervisor
PRESENTER: Abdul R. Ghous, AICP, Senior Planner
TITLE: PLT-24-03-0016 – Final Plat - Prose Westcliff (City Council District 2). Final Plat for a multi-family development on 14.159 acres. Lots 1-4 of Vickery Place Addition, a portion of Tract 4, J.W.E. Wallace Survey, Abstract No. 1517, and a portion of Tract 12, Benjamin F. Smith Survey, Abstract No. 1337, City of Grand Prairie, Dallas County, Texas, zoned PD-449, within IH-20 Corridor Overlay District, and addressed as 1150 E IH 20
APPLICANT: Michael Clark, ML Clark Consulting, LLC
RECOMMENDED ACTION: Approve

SUMMARY:

Final Plat for a multi-family development on 14.159 acres. Lots 1-4 of Vickery Place Addition, a portion of Tract 4, J.W.E. Wallace Survey, Abstract No. 1517, and a portion of Tract 12, Benjamin F. Smith Survey, Abstract No. 1337, City of Grand Prairie, Dallas County, Texas, zoned PD-449, within IH-20 Corridor Overlay District, and addressed as 1150 E IH 20.

PURPOSE OF REQUEST:

The purpose of the request is to create one multi-family lot on 14.159 acres to facilitate a multi-family development with 300 units.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1. Zoning and Land Use

Table with 3 columns: Direction, Zoning, Existing Use. Rows include North (PD-305/SF-A, Single Family Residential), South (IH 20/PD-23, Undeveloped), West (PD-19, Multi-Family & Office), and East (PD-18, Undeveloped, Single Family Residential).

HISTORY:

- February 12, 2024: Planning and Zoning Commission approved a Preliminary Plat (Case Number PLT-23-12-0070).

ZONING REQUIREMENTS:

The lot meets the density and dimensional requirements listed in Article 6 of the UDC.

Table 2. Density and Dimensional Requirements

Standard	Required	Proposed	Complies
Min. Lot Area (Sq. Ft.)	12,000	605,485	Yes
Min. Lot Width (Ft.)	100	726	Yes
Min. Lot Depth (Ft.)	120	974	Yes
Min. Front Yard on Street (Ft.)	30	30	Yes
Min. Rear Yard Setback (FT)	53	53	Yes
Min. Side Yard (Ft.)	53	53	Yes

PLAT FEATURES:

The plat depicts all the necessary utility easements to service the development.

RECOMMENDATION:

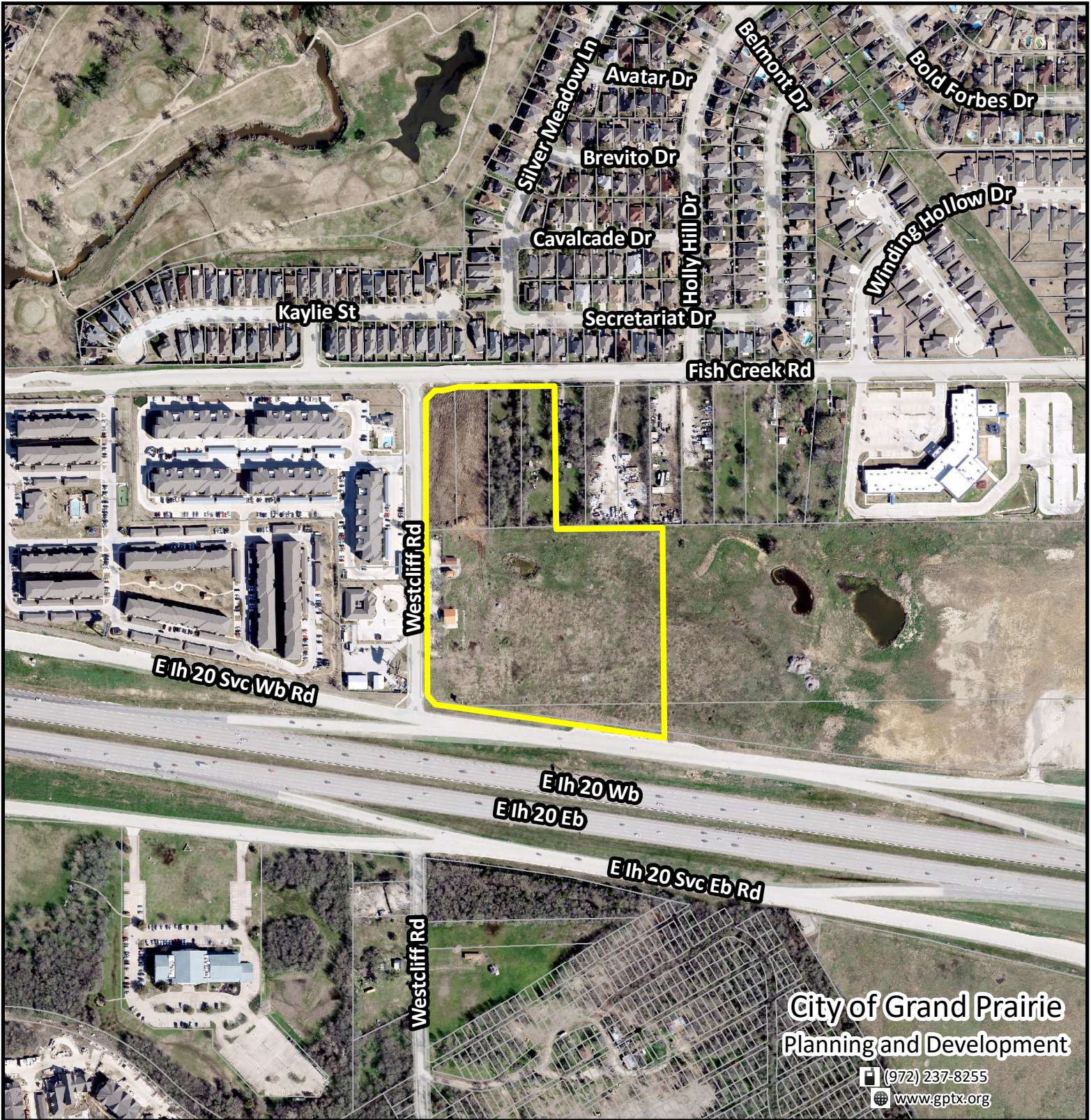
The Development Review Committee (DRC) recommends approval.




Exhibit A- Location Map

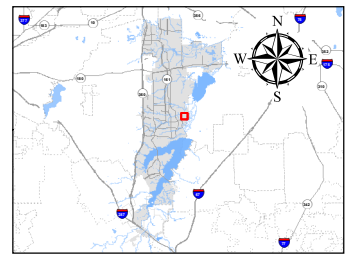
Page 1 of 1

CASE LOCATION MAP
 PLT-24-03-0016
 PROSE WESTCLIFF

Item2.



-  Location
-  Street Center Line
-  Parcels

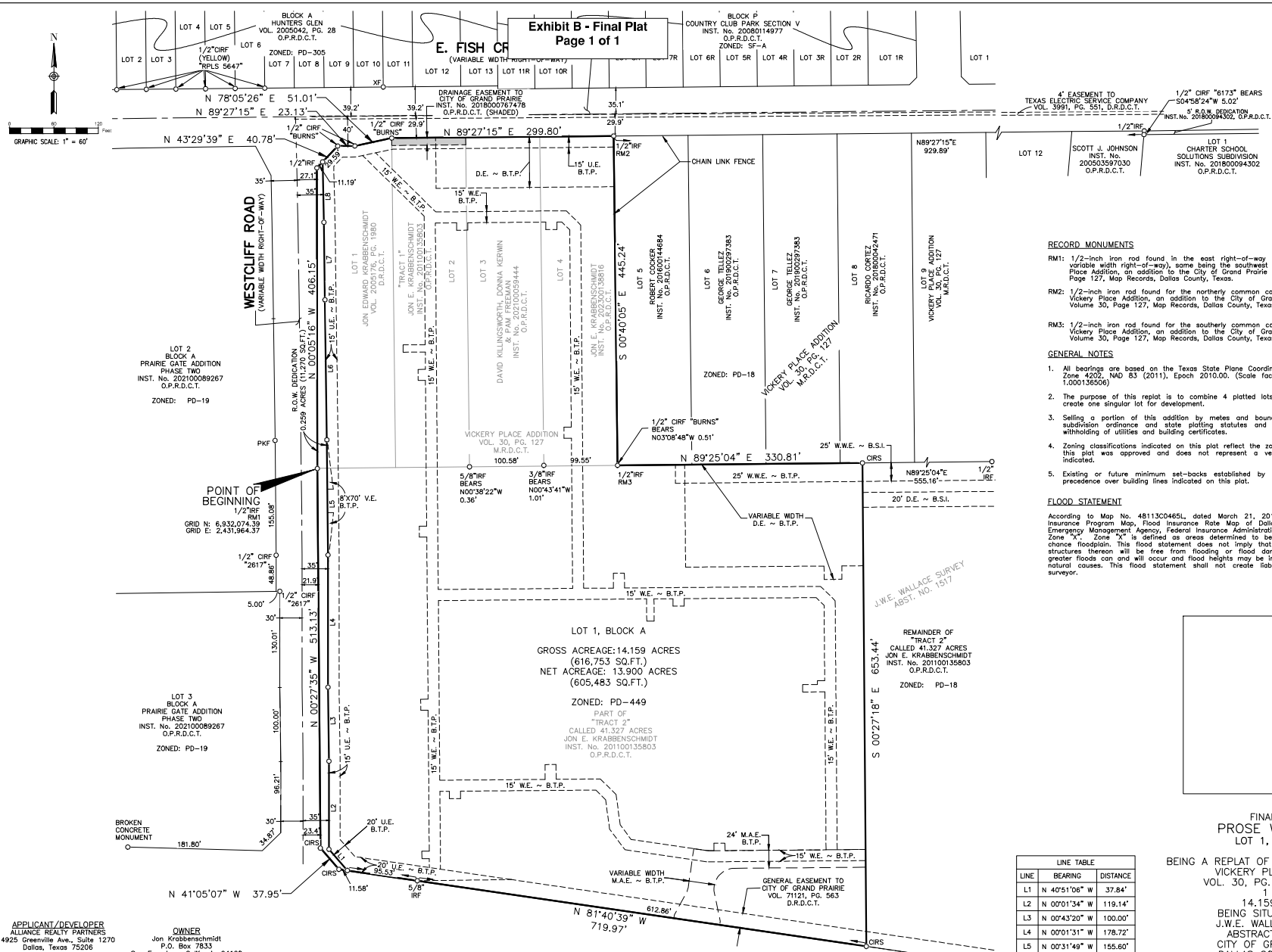
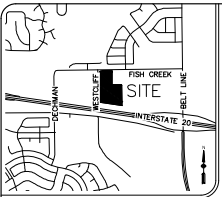


0 0.09 Miles



PLANNING
 Date: 3/18/2024

The City of Grand Prairie has prepared maps for departmental use. These are not official maps of the City of Grand Prairie and should not be used for legal, engineering, or surveying purposes but rather for reference. These maps are the property of the City of Grand Prairie and have been made available to the public based on the Public Information Act. The City of Grand Prairie makes every effort to produce and publish the most current and accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use, or its interpretation. Utilization of this map indicates understanding and acceptance of this statement.



LEGEND
 O = Monument (Found/Set)
ABBREVIATIONS
 CIRF = CAPPED IRON ROD FOUND
 CIRS = 5/8" YELLOW CAPPED IRON ROD SET
 "ADAMS SURVEYING COMPANY LLC"
 "BURNS" = YELLOW CAP STAMPED "BURNS SURVEYING"
 "2617" = YELLOW CAP STAMPED "NSO 2617"
 "6173" = PINK CAP STAMPED "STANTON 6173"
 IRF = IRON ROD FOUND
 PKF = PK NAIL FOUND
 BM = BENCHMARK
 M.R.D.C.T. = MAP RECORDS, DALLAS COUNTY, TEXAS
 D.R.D.C.T. = DEED RECORDS, DALLAS COUNTY, TEXAS
 O.P.R.D.C.T. = OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS
 SQ.FT. = SQUARE FEET
 VOL. = VOLUME
 PG. = PAGE
 INST. No. = INSTRUMENT NUMBER
 B.T.P. = BY THIS PLAT
 B.S.I. = BY SEPARATE INST.
 F.L.E. = FIRE LANE EASEMENT
 D.E. = DRAINAGE EASEMENT
 S.B. = SET BACK
 U.E. = UTILITY EASEMENT
 V.E. = VISIBILITY EASEMENT
 W.E. = WATER EASEMENT
 W.W.E. = WASTE WATER EASEMENT
 M.A.E. = MUTUAL ACCESS EASEMENT

SURVEYOR
 Adams Surveying Company, LLC
 1475 Richardson Drive, Suite 255
 Richardson, Texas 75080
 Contact: John Truong
 Phone: (469) 317-0250
 Email: surveys@txasc.com

APPLICANT/DEVELOPER
 ALLIANCE REALTY PARTNERS
 4925 Greenville Ave., Suite 1270
 Dallas, Texas 75206
 Contact: David Dierkes
 Phone: (214) 443-4430
 Email: ddierkes@allresco.com

ENGINEER
 M.L. CLARK CONSULTING, LLC
 P.O. Box 170
 Addison, Texas 75001
 Contact: Michael L. Clark, P.E.
 Phone: (214) 675-1960
 Email: mclark@mlclarkconsulting.com

OWNER
 Jon KrabbenSchmidt
 P.O. Box 7833
 San Francisco, California 94120
 Phone: (415) 378-9525
 Email: jon@gateholdingllc.com

OWNER
 David Killingsworth & Donna Kerwin
 542 PR 7998
 Winnsboro, Texas 75494
 Phone: (903) 972-0280
 Email: kkerwin@peoplescom.net



INTERSTATE HIGHWAY 20
 (VARIABLE WIDTH RIGHT-OF-WAY)

LINE	BEARING	DISTANCE
L1	N 40°51'06" W	37.84'
L2	N 00°01'34" W	119.14'
L3	N 00°43'20" W	100.00'
L4	N 00°01'31" W	178.72'
L5	N 00°31'49" W	155.60'
L6	N 00°47'12" W	189.24'
L7	N 00°46'05" W	104.78'
LB	N 01°18'19" W	81.63'

FINAL PLAT
PROSE WESTCLIFF
 LOT 1, BLOCK A
 BEING A REPLAT OF LOT 1, 2, 3, & 4 OF
 VICKERY PLACE ADDITION
 VOL. 30, PG. 127, D.R.D.C.T.
 1 LOT
 14.159 ACRES
 BEING SITUATED IN THE
 J.W.E. WALLACE SURVEY,
 ABSTRACT No. 1517
 CITY OF GRAND PRAIRIE
 DALLAS COUNTY, TEXAS

APRIL 01, 2024
 CASE No: PLT-24-03-0016

- RECORD MONUMENTS**
- RM1: 1/2-inch iron rod found in the east right-of-way line of Westcliff Road (a variable width right-of-way), same being the southwest corner of Lot 1 of Vickery Place Addition, an addition to the City of Grand Prairie as recorded in Volume 30, Page 127, Map Records, Dallas County, Texas.
- RM2: 1/2-inch iron rod found for the northern common corner of Lots 4 and 5 of Vickery Place Addition, an addition to the City of Grand Prairie as recorded in Volume 30, Page 127, Map Records, Dallas County, Texas.
- RM3: 1/2-inch iron rod found for the southern common corner of Lots 4 and 5 of Vickery Place Addition, an addition to the City of Grand Prairie as recorded in Volume 30, Page 127, Map Records, Dallas County, Texas.
- GENERAL NOTES**
- All bearings are based on the Texas State Plane Coordinate System, North Central Zone 4202, NAD 83 (2011), Epoch 2010.00. (Scale factor used, grid to ground, 1.000136506)
 - The purpose of this replat is to combine 4 platted lots with a tract of land to create one singular lot for development.
 - Selling a portion of this addition by metes and bounds is a violation of city subdivision ordinance and state plotting statutes and is subject to fines and withholding of utilities and building certificates.
 - Zoning classifications indicated on this plat reflect the zoning in place at the time this plat was approved and does not represent a vested right to the zoning indicated.
 - Existing or future minimum set-backs established by City Ordinance shall take precedence over building lines indicated on this plat.
- FLOOD STATEMENT**
- According to Map No. 4813C0465L, dated March 21, 2019 of the National Flood Insurance Program Map, Flood Insurance Rate Map of Dallas County, Texas, Federal Emergency Management Agency, Federal Insurance Administration, this property is within Zone "X", Zone "X" is defined as areas determined to be outside the 0.2% annual chance floodplain. The flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.



CITY OF GRAND PRAIRIE COMMUNICATION

MEETING DATE: 04/22/2024

REQUESTER: Monica Espinoza, Administrative Supervisor

PRESENTER: Brittany Musser, Planner

TITLE: STP-24-03-0014 - Site Plan Amendment– Walmart #4503 - 2650 S Hwy 161 (City Council District 2). Site Plan Amendment for an existing retail development on 19.62 acres. Lot 1, Block A, Bush & Pioneer Centre, City of Grand Prairie, Dallas County addressed as 2650 SH-161

APPLICANT: Jose Gonzalez

RECOMMENDED ACTION: Approve with Conditions

SUMMARY:

Site Plan Amendment for an existing retail development on 19.62 acres. Lot 1, Block A, Bush & Pioneer Centre, City of Grand Prairie, Dallas County addressed as 2650 SH-161.

PURPOSE OF REQUEST:

The applicant seeks site plan approval to revise the approved site plan and landscape plan for an existing Walmart. No changes are proposed to the approved building elevations.

The Unified Development Code (UDC) requires City Council approval of a site plan to ensure that the development meets the requirements in the UDC by providing adequate circulation as well as quality site planning techniques. The UDC identifies criteria for evaluating proposed developments such as density and dimensional standards, landscaping and screening requirements, and architectural design requirements.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1. Adjacent Zoning and Land Uses

Direction	Zoning	Existing Use
North	PD-351, C	Retail
South	PD-351	Retail
West	PD-351	Retail

East	PD-299	Residential
------	--------	-------------

HISTORY:

- April 21, 2015: City Council approved Planned Development (PD-351) for Commercial (C) land uses for this site (Case Number Z150201).
- May 18, 2015: City Council approved a Site Plan for Walmart (Case Number S150502).
- May 26, 2022: Staff administratively approved a Site Plan amendment revising the approved site plan and building elevations (Case Number STP-22-03-0017).
- April 10, 2023: Staff administratively approved a Site Plan amendment revising the approved site plan (Case Number STP-23-02-0003).

PROPOSED USE CHARACTERISTICS AND FUNCTION:

The proposal includes 15 additional online pickup and delivery stalls. The stalls will be located in what is currently a landscape buffer along Southgate Drive. The proposed location is near the online pickup and delivery door, reducing the travel time and increasing the safety of employees who are delivering the groceries to customers. The site plan amendment depicts the changes to the site plan and landscape plan. No changes are proposed to the approved building elevations.

Landscape and Screening

The approved site plan met or exceeded Article 8 and Appendix F landscape and screening requirements. The site plan amendment is proposing the relocation of 7 street trees and the reduction of the required landscape buffer along Southgate Drive from 30 feet to 8 feet. As a compensatory measure, the applicant is providing 6 additional large or medium trees and 9 additional ornamental trees.

VARIANCES:

The following variances are requested:

1. Landscape Buffer – The applicant is requesting a variance from the 30-foot landscape buffer for all parking or drive areas situated along public streets to allow for a 8-foot landscape buffer.

RECOMMENDATION:

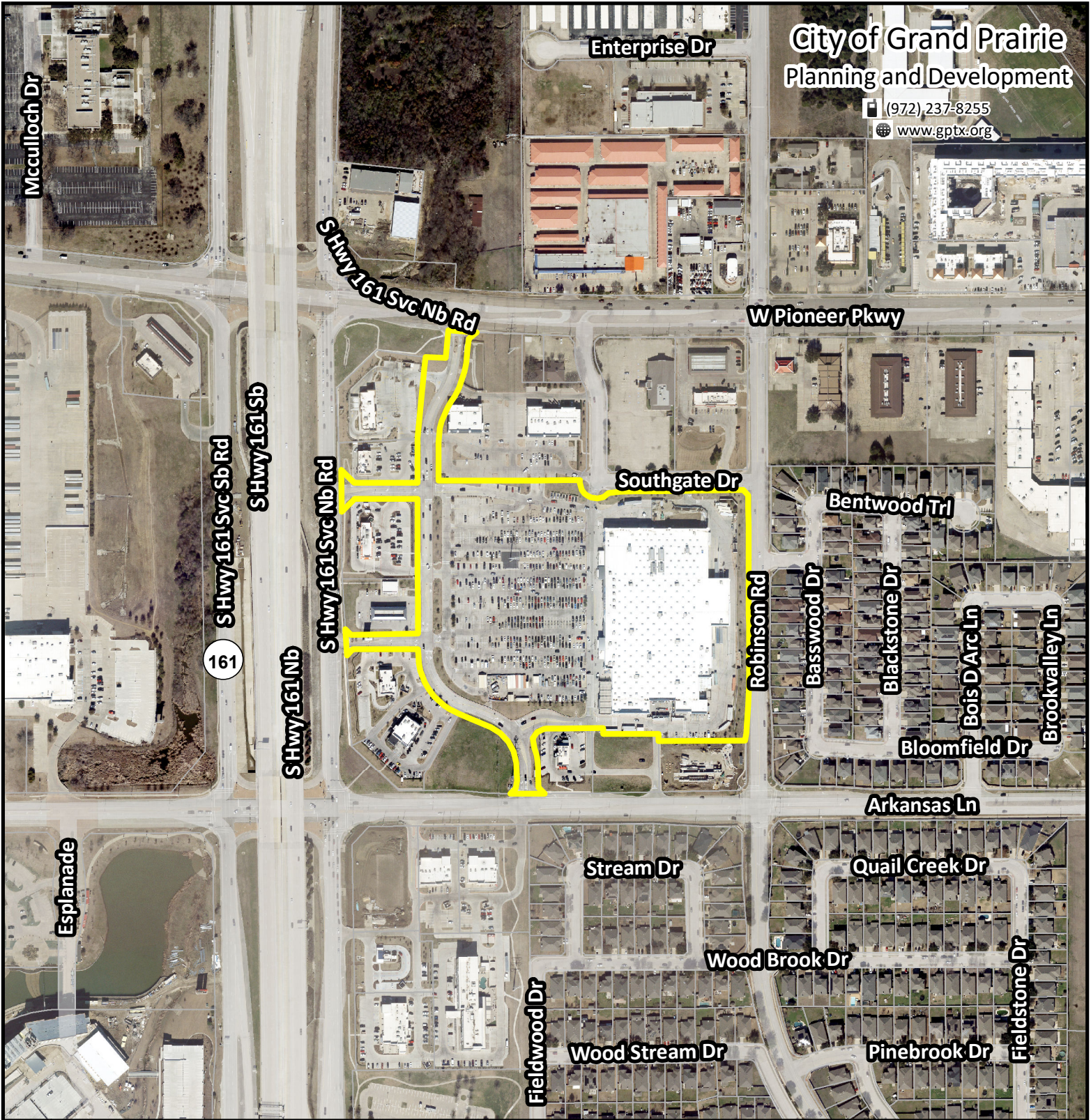
The Development Review Committee (DRC) recommends approval with the condition that building permits shall not be issued until a license agreement over an existing water line easement located along Southgate Drive is obtained by the applicant.

Exhibit A- Location Map

Page 1 of 1




CASE LOCATION MAP
 STP-24-03-0014
 WALMART ON 161

Item3.

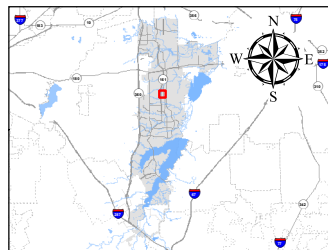


City of Grand Prairie
 Planning and Development

(972) 237-8255
 www.gptx.org

-  Location
-  Street Center Line
-  Parcels

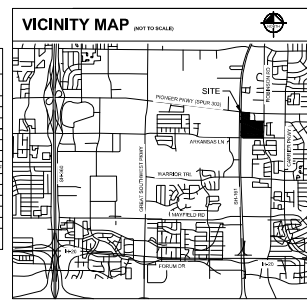
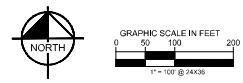
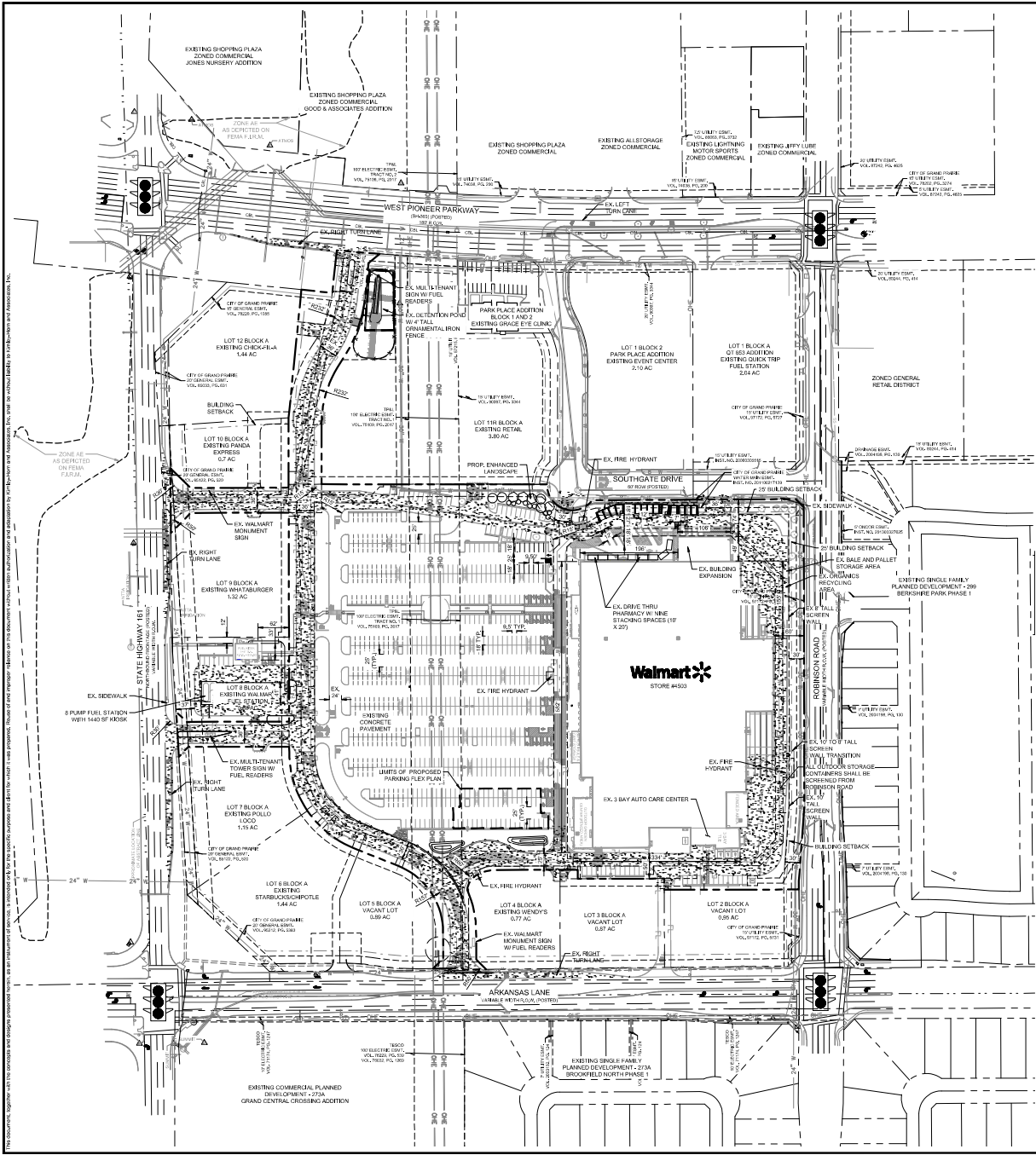
The City of Grand Prairie has prepared maps for departmental use. These are not official maps of the City of Grand Prairie and should not be used for legal, engineering, or surveying purposes but rather for reference. These maps are the property of the City of Grand Prairie and have been made available to public based on the Public Information Act. The City of Grand Prairie make every effort to produce and publish the most current and accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use, or its interpretation. Utilization of this map indicates understanding and acceptance of this statement.



0 0.09 Miles

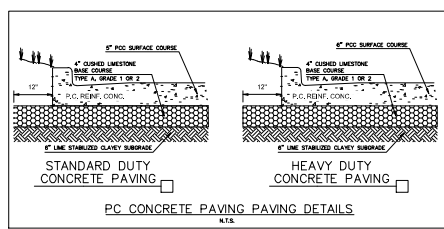
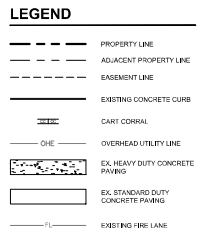
Grand
 Prairie
 TEXAS

PLANNING
 Date: 3/18/2024



SITE ANALYSIS TABLE		
LOT 1 BLOCK A BUSH & PIONEER CENTRE		
ZONING	PD-201 (C) COMMERCIAL	GROCCERY STORE
USE	854,026 SF / 19.81 AC	
LOT AREA	193,728 SF	
TOTAL BUILDING AREA	193,728 SF	
FINISHED FLOOR ELEVATION	226.0 FT	
LANDSCAPE PERCENTAGE	10% MIN / 28,461 SF	21.2% / 79,759 SF
WALKWAY PARKING	700 SPACES	700 SPACES
ACCESSIBLE	45 SPACES	27 SPACES
TOTAL PARKING	700 SPACES	707 SPACES
PARKING RATIO	3.64/1000 SF	3.67/1000 SF
FLOOR AREA RATIO	4.31 MIN / 477,303 SF	2.51 / 193,728 SF
PARKING REQUIRED FOR GROCERY STORES	1 SPACE PER 275 SF OF BUILDING AREA.	

- SITE PLAN NOTES**
- THE PURPOSE OF THIS SITE PLAN IS FOR A PARKING EXPANSION AND REVEID PARKING STRIPING.
 - ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
 - NO FLOODPLAIN EXISTS ON SITE ACCORDING TO COMMUNITY PANEL NO. 401 (DAGWOOD GATED BRANCH) 2018 OF THE NATIONAL FLOOD INSURANCE PROGRAM MAP; FLOOD INSURANCE RATE MAP OF DALLAS COUNTY TEXAS, FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION.
 - SEWAGE IS DEPICTED FOR ILLUSTRATIVE PURPOSES ONLY.



Kimley»Horn
REVISED SITE PLAN
WALMART PARKING EXPANSION
AT BUSH & PIONEER CENTRE
LOT 1 BLOCK A
 2650 S STATE HWY 161 GRAND PRAIRIE, TX 75052
 CITY PROJECT NO.:

19.6 ACRES
 BUSH & PIONEER CENTRE
 CITY OF GRAND PRAIRIE, DALLAS COUNTY, TEXAS
 PREPARATION DATE: FEBRUARY 14, 2023

OWNER
 THE TRUST REAL ESTATE BUSINESS TRUST
 2011 DE 10TH STREET
 BEITHTVILLE, MISSISSIPPI 39212
 CONTACT: JEFF JONES
 PHONE: (478) 538-3465

ENGINEER / SURVEYOR
 KIMLEY-HORN AND ASSOCIATES, INC.
 1335 INGLEWOOD ROAD
 TROY GA 30598
 CONTACT: JEFF JONES
 PHONE: (770) 383-2827
 CONTACT: LARSEN RUFFER, P.E.

SCALE	DATE
AS SHOWN	
DESIGNED BY	REVISIONS
DRAWN BY	
LID	
CHECKED BY	
CUSC	
REVISED SITE PLAN	
BUSH & PIONEER CENTRE	
SITE PLAN	
HIGHWAY 161 & PIONEER PKWY	
GRAND PRAIRIE, TX 75052	
DATE	PROJECT NO.
04/03/2024	063983212
SHEET NUMBER	
1	



CITY OF GRAND PRAIRIE COMMUNICATION

MEETING DATE: 04/22/2024

REQUESTER: Monica Espinoza, Administrative Supervisor

PRESENTER: Brittany Musser, Planner

TITLE: SUP-24-02-0007 - Specific Use Permit - Registered Group Home at 326 Swallowtail Court (City Council District 6). Specific Use Permit for a registered group home on 0.16 acres. Lot 16, Block A, Westchester Glen Addition, City of Grand Prairie, Dallas County, zoned Planned Development (PD-245), and addressed as 326 Swallowtail Court

APPLICANT: Olaleye Olowookere, Christabel LLC

RECOMMENDED ACTION: Approve with Conditions

SUMMARY:

Specific Use Permit for a registered group home on 0.16 acres. Lot 16, Block A, Westchester Glen Addition, City of Grand Prairie, Dallas County, zoned Planned Development (PD-245), and addressed as 326 Swallowtail Court.

PURPOSE OF REQUEST:

The applicant is currently operating a Registered Group Home, which requires City Council approval of a Specific Use Permit when located within 2,500 feet of another group living residential use. All Group Living Units are now required to register with the city per Ordinance No. 11382. A nearby group home was legally operating prior to this location, which triggers the requirement for a Specific Use Permit for this location.

The purpose of the Specific Use Permit process is to identify those uses which might be appropriate within a zoning district, but due to either their location, functional or operational nature, could have a potentially negative impact upon surrounding properties; and provide for a procedure whereby such uses might be permitted by further restricting or conditioning them to eliminate such probable negative consequences.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1. Zoning and Land Use

Direction	Zoning	Existing Use
North	PD-245	Single Family Residence
South	PD-245	Single Family Residence
West	PD-245	Single Family Residence
East	PD-172	Single Family Residence

HISTORY:

- January 18, 2000: City Council approved PD-245 for single family residential uses.
- June 20, 2023: City Council approved Ordinance No. 11382 requiring all Group Living Units to register with the city.

PROPOSED USE CHARACTERISTICS:

The applicant has been registered as a Home and Community-Based Services – Adult Mental Health (HCBS-AMH) provider with the State of Texas’ Health and Human Service Commission (HHSC) since 2015. The services provided by HCBS-AMH providers and client eligibility are regulated by the HHSC.

This location has been operating as a Registered Group Home since 2021. Per the Unified Development Code (UDC), a Registered Group Home “refers to a facility licensed with the State of Texas and includes facilities that are referenced as group homes, community homes, assisted living facilities or residential treatment facilities as defined in the Texas Human Resources Code, Section 42.002, or the Texas Health and Safety Code, Chapters 123, 247 and 248.”

The Registered Group Home currently houses 3 clients with the capacity to serve 5 clients. It is a 24-hour operation with staff on site at all times. Some of the services provided includes community psychiatric support and treatment, assisted living, home delivered meals, employment assistance, nursing services, substance use disorder counseling, transportation, and respite care.

There are 4 house managers who work at this location. All staff undergo fingerprinting and a background check prior to employment. Staff help administer client’s medication, provide meals, and manage the overall safety and cleanliness an of the site.

RECOMMENDATION:

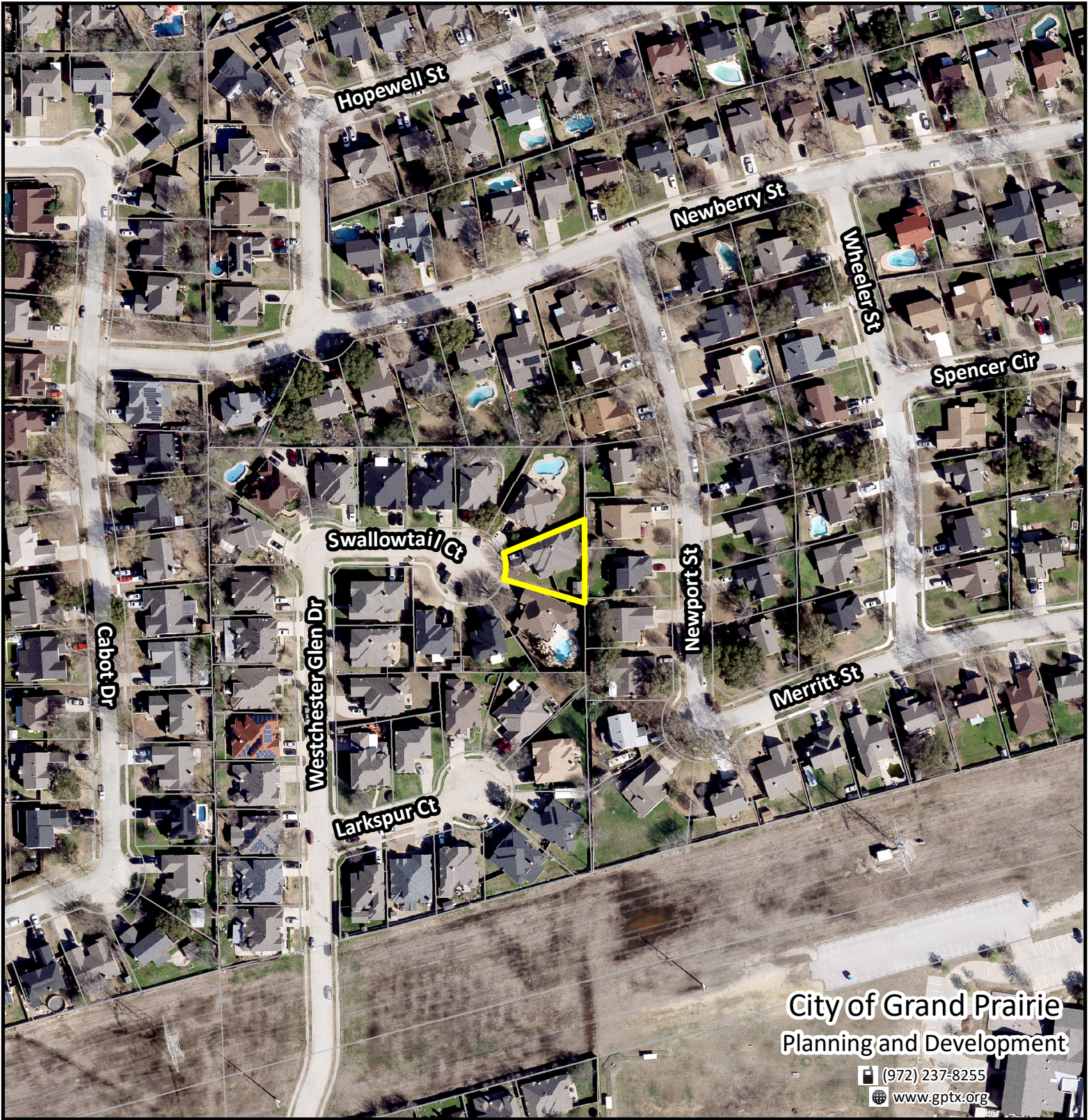
The Development Review Committee (DRC) recommends approval of the request with the condition that if the number of occupants exceeds 5 the applicant shall install a sprinkler system and apply for and obtain a Certificate of Occupancy.

Exhibit A- Location Map

Page 1 of 1

CASE LOCATION MAP
 SUP-24-02-0007
 326 SWALLOWTAIL CT




Item 4.

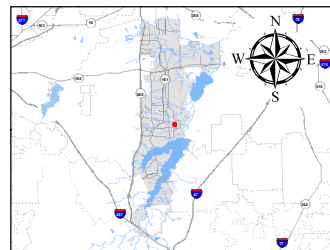


City of Grand Prairie
 Planning and Development

(972) 237-8255

www.gptx.org

-  Location
-  Street Center Line
-  Parcels



0 0.03 Miles

Grand Prairie
 TEXAS

PLANNING
 Date: 3/6/2024

The City of Grand Prairie has prepared maps for departmental use. These are not official maps of the City of Grand Prairie and should not be used for legal, engineering, or surveying purposes but rather for reference. These maps are the property of the City of Grand Prairie and have been made available to the public based on the Public Information Act. The City of Grand Prairie makes every effort to produce and publish the most current and accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use, or its interpretation. Utilization of this map indicates understanding and acceptance of this statement.

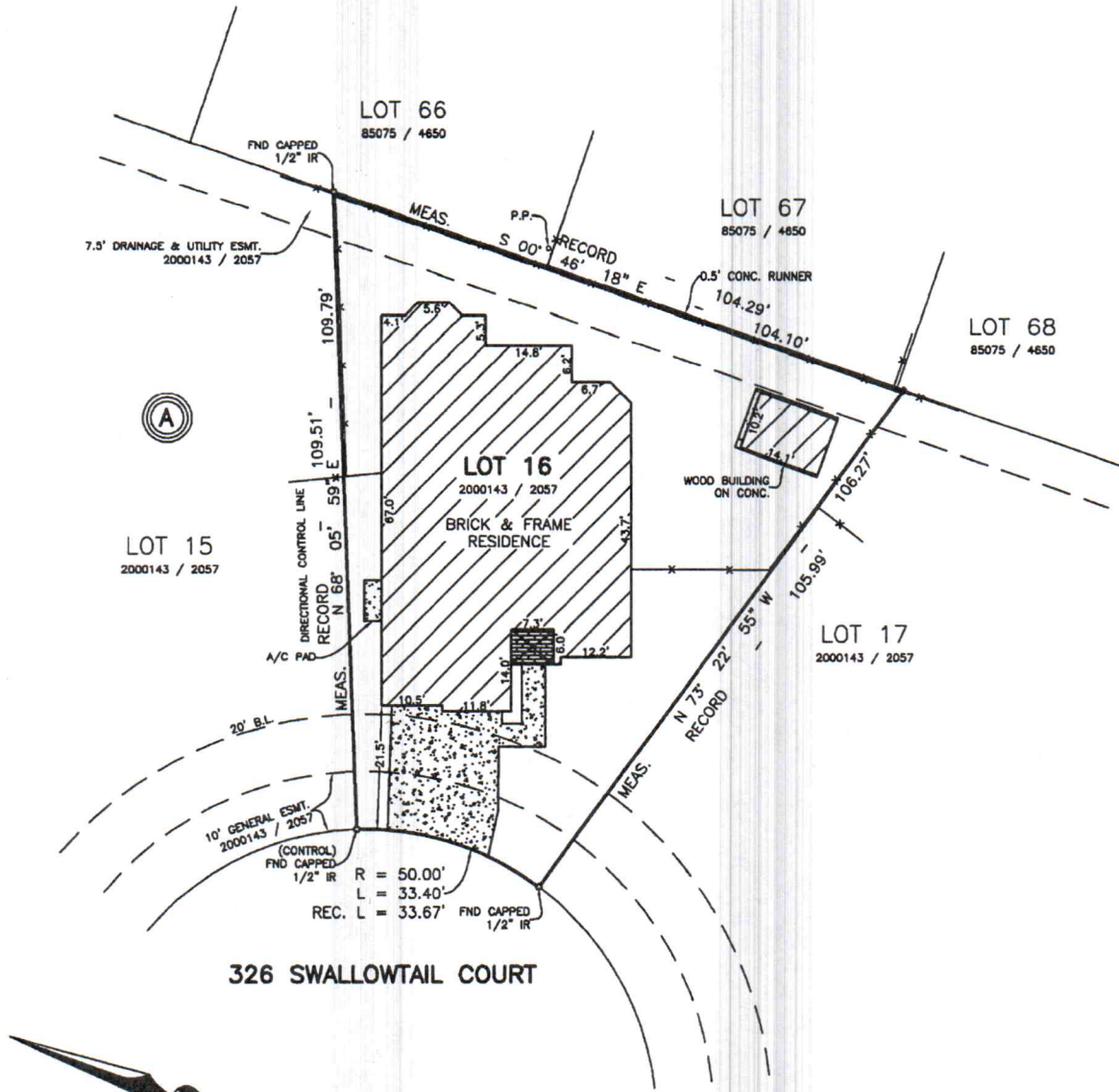
Item 4.

Reference No: 2109210326 G.F. No: 21-4238
Title Co: RATTIKIN TITLE
Purchaser: OLOWOOKERE

PROPERTY DESCRIPTION

Lot 16, Block A of Westchester Glen, an Addition to the City of Grand Prairie, Dallas County, Texas, according to the Plat thereof recorded in Volume 2000143, Page 2057, Map Records, Dallas County, Texas.

There is no visible, on the ground evidence of the easements as set out in 3428/1, 89083/4265 and 89222/1104, RPRDCT.



SCALE: 1" = 20'

SURVEYORS CERTIFICATION

I, DAVID J. ROSE, REGISTERED PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND UNDER MY SUPERVISION AND CORRECTLY SHOWS THE BOUNDARY LINE, AND DIMENSIONS OF THE LAND INDICATED THEREON, AND THAT SAID PROPERTY HAS ACCESS TO AND FROM A DEDICATED ROADWAY, SAID PROPERTY BEING SUBJECT TO ANY AND ALL EASEMENTS, RESERVATIONS AND RESTRICTIONS THAT MAY BE OF RECORD, AND THAT ONLY THE EASEMENTS SHOWN ON THE REFERENCED PLAT OF RECORD, VISIBLE EASEMENTS AND THOSE OF WHICH THE SURVEYOR HAS BEEN GIVEN WRITTEN NOTICE FROM TITLE COMPANY ARE SHOWN ON THIS PLAT. SURVEYOR DID NOT ABSTRACT THIS PROPERTY. THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR THE TITLE COMPANY AND PURCHASER SHOWN AND IS LICENSED FOR ONE SINGLE USE. THIS SURVEY WILL BE VOID IF USED BY ANY OTHER PERSON OR FOR ANY OTHER PURPOSE. SURVEYOR BEARS NO RESPONSIBILITY FOR SAID USE.

PROLINE
SURVEYING LTD.

www.prolinesurveyors.com
Ph# 817-276-1148 info@prolinesurveyors.com
© Proline Surveying, LTD. 2021



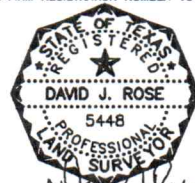
	BOUNDARY LINE
	BUILDING
	OVERHEAD UTILITIES
	FENCE
	BRICK
	WOOD DECK
	CONCRETE

This survey is hereby accepted and approved.

[Signature]
Purchaser

Purchaser
10-14-2021
Date

STATE FIRM REGISTRATION NUMBER 10193797



DRAWN BY: PW

DATE: 9-23-2021

SURVEY ONLY VALID WITH ORIGINAL SIGNATURE



The City Council,
Grand Prairie Municipal Complex
300 W. Main Street, Grand Prairie.

April 3, 2023.

Dear Ma/Sir,

DETAILED OPERATIONAL PLAN

PROGRAM OVERVIEW

Christabel, limited liability company is a comprehensive provider of the Home and Community-Based Services, Adult Mental Health (HCBS-AMH) program in the state of Texas. Christabel, LLC was registered with the state of Texas on October 8, 2015 and thereafter obtain her contract with the Health and Human Service Commission (HHSC) to provide comprehensive behavioral health services to people living with mental health diagnosis. Participants in this program are American Citizens who find themselves in challenging mental health situations and require varying degrees of support for their recovery. HCBS-AMH program provides eighteen different recovery-oriented services, and Christabel LLC provides seventeen of those services. Services offered are: Psychosocial rehabilitation, Community Psychiatric Support and Treatment, Supervised living, Supported home living, Assisted living, Adaptive aids, Home delivered meals, Host home/Companion care, Employment assistance, Supported employment, Flexible funds, Nursing services, Minor home modification, Substance use disorder counseling, Respite care, Transition assistance, and Transportation.

OPERATIONAL PLAN

Operations at Christabel LLC are structured to comply with federal, state, and local authorities. Our services are regulated by HHSC, Local Behavioral Health Authorities, and many other agencies who are stakeholders in the provision of behavioral health services. HCBS-AMH has eligibility criteria that all the participants in the program must meet before their enrolment. Enrolment into the program is centrally coordinated and controlled by the Health and Human Service Commission in Austin, TX. They also regulate the quality of care provided to program participants. All the service providers do undergo background check through fingerprinting, and employability status check. We also provide quarterly and annual reports to the program leadership in Austin, TX.

Parking at the 326 Swallowtail location will be done in such a way that neighbors' spaces are not encroached into, or disturbed. It is anticipated that five (5) adults with mental health diagnoses will reside at this location, and they will be supervised round the clock by a house manager. Currently, there are three (3) clients living at this location. There are four (4) house

managers working at this location: one staff works 16 hours (6am-10pm) on Mondays and Tuesdays, and 8 hours (10pm-6am) on Fridays. Another staff works 8 hours (10pm-6am) Mondays through Thursdays, and 10pm-6am on Sundays. One staff works 16 hours (6am-10pm) on Wednesdays, Thursdays, and Fridays. And another staff works 24 hours on Saturdays and 16 hours on Sundays. The duties of the house managers are: monitoring the clients for behavioral stability and documenting at the end of their shifts; cooking for the clients; administering medications as prescribed by the doctors and arranged in medication minders by the nurse; engaging clients in therapeutic conversations, and keeping the residence clean. Staff's presence serves as a security measure in place, and there are fire extinguisher strategically placed in the house. Guardian Security system is also employed at this location. None of the participants have a car. The minivan that is currently used for clients' transportation will be moved to the office at 330 Cooper Street, Cedar Hill, TX 75104. This type of residential group living is well regulated, and it operates differently from a regular group home.

Daily operations at Christabel LLC are performed under the leadership of Olaleye Augustine Olowookere (Administrator), Yetunde Morenikeji Olowookere (Alternate administrator), Christopher Harrington (Operation Manager), and Krista Domingue (Relationship Manager). We maintain presence in Dallas County, Tarrant County, and Travis County. Our goal is to provide quality supportive services that are geared towards the recovery of the people under our care. All the residential group living under Christabel LLC is staffed 24 hours a day with house managers, and other supportive services are provided in accordance with the state-approved treatment plans for each individual under our care. We are committed to the recovery of people living with mental health disorders and contributing our quota to the building of safe societies for all Americans.

Thanks.

Yours truly,
Olaleye Augustine Olowookere,
Administrator, Christabel LLC.



CITY OF GRAND PRAIRIE
COMMUNICATION

MEETING DATE: 04/22/2024

REQUESTER: Monica Espinoza, Administrative Supervisor

PRESENTER: Salvador Gonzalez Jr., Planner

TITLE: SUP-24-03-0013 - Specific Use Permit - Fiesta Kids Play (City Council District 2). Specific Use Permit request for a Special Event Center in an existing commercial lease space at Carrier Towne Crossing. Lot 5, Block 1, Carrier Towne Crossing Addition, City of Grand Prairie, Dallas County, Texas, zoned PD-223, within the IH-20 Corridor Overlay, and addressed as 594 W. IH 20, Suite 235

APPLICANT: Sonia Resendez, Applicant

RECOMMENDED ACTION: Approve

SUMMARY:

Specific Use Permit request for a Special Event Center in an existing commercial lease space at Carrier Towne Crossing. Lot 5, Block 1, Carrier Towne Crossing Addition, City of Grand Prairie, Dallas County, Texas, zoned PD-223, within the IH-20 Corridor Overlay, and addressed as 594 W. IH 20, Suite 235.

PURPOSE OF REQUEST:

The applicant intends to operate a special event center in a lease space in an existing commercial building at 594 W. IH-20, Suite 235. Special Event Centers require a Specific Use Permit according to the Unified Development Code (UDC).

The purpose of the Specific Use Permit process is to identify those uses which might be appropriate within a zoning district, but due to either their location, functional or operational nature, could have a potentially negative impact upon surrounding properties; and provide for a procedure whereby such uses might be permitted by further restricting or conditioning them so as to eliminate such probable negative consequences.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1. Zoning and Land Use

Direction	Zoning	Single Family-Residential
North	PD-27	Residential
South	C	Undeveloped
West	PD-27	Single Family-Residential
East	PD-21	General Retail

PROPOSED USE CHARACTERISTICS AND FUNCTION:

The applicant intends to operate a 1,400 sq. ft. special event center located at 594 W. IH-20, Suite 235. Anticipated events include children's parties for up to 49 attendees.

Events will be held at the following times:

Sunday-Thursday: 10:00 AM to 9:00 PM

Friday-Saturday: 10:00 AM to 10:00 PM

Events will be by appointment only. A video surveillance system will be installed to monitor all activity. Catering companies will be allowed to provide food and drink. Guests will also be allowed to provide their own food and beverages, with alcohol being prohibited. 1-3 employee(s) will be on premises to help monitor the events.

The site is accessible from S. Carrier Pkwy. There is an existing dumpster located at the rear of the building.

The proposal meets parking requirements for the proposed Special Event Center. The following table summarizes the parking requirements for the Special Event Center use.

Table 2. Parking Calculation		
	Required	Provided
Required Spaces (Indoor amusement: 1 space per 200 Sq. Ft.)	10	60+

CONFORMANCE WITH THE COMPREHENSIVE PLAN:

The Future Land Use map (FLUM) of the Comprehensive Plan designated this site for Commercial/Retail/Office designation. The proposal for a Special Event Center Use is consistent with the FLUM of the Comprehensive Plan.

VARIANCES:

The applicant is not requesting any variances.

PUBLIC NOTICE:

Notice of this item was published in the Fort Worth Star Telegram and letters were provided to 22 surrounding properties meeting the distance requirements in the Unified Development Code. As of the writing of this staff memo, the following letters have been received:

In Support: none

In Opposition: none

RECOMMENDATION:

The Development Review Committee (DRC) recommends approval.

Exhibit A- Location Map




Page 1 of 1

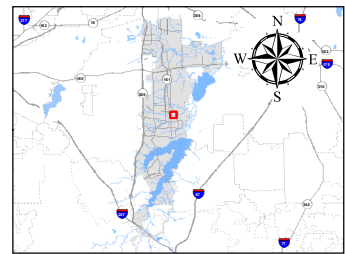
CASE LOCATION MAP
 SUP-24-03-0013
 SPECIAL EVENT CENTER

Item5.



City of Grand Prairie
 Planning and Development
 (972) 237-8255
 www.gptx.org

-  Location
-  Street Center Line
-  Parcels

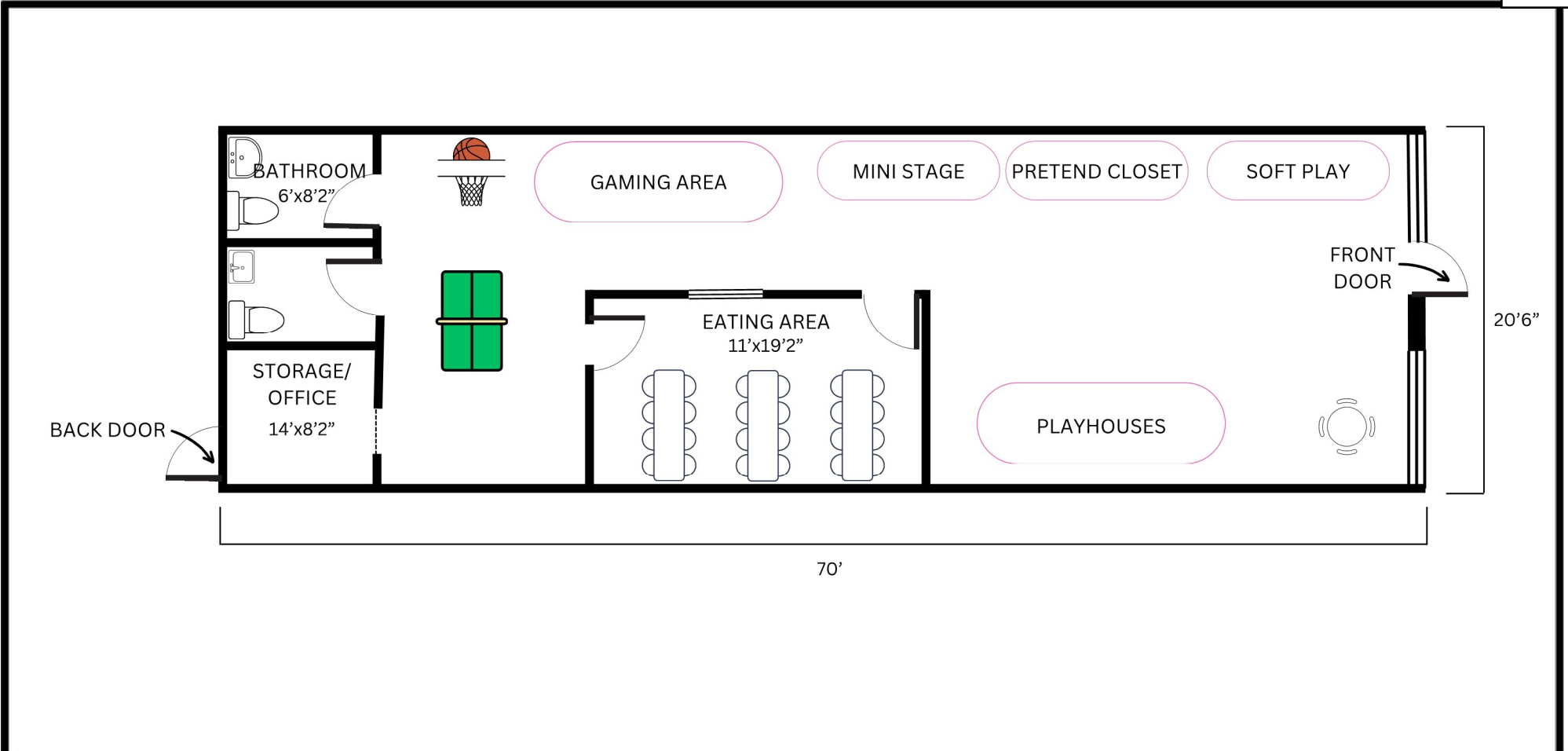


0 0.09 Miles



PLANNING
 Date: 3/19/2024

The City of Grand Prairie has prepared maps for departmental use. These are not official maps of the City of Grand Prairie and should not be used for legal, engineering, or surveying purposes but rather for reference. These maps are the property of the City of Grand Prairie and have been made available to public based on the Public Information Act. The City of Grand Prairie makes every effort to produce and publish the most current and accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use, or its interpretation. Utilization of this map indicates understanding and acceptance of this statement.



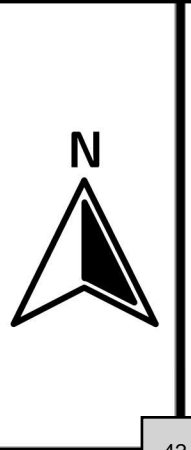
594 W.
INTERSTATE
20 SUITE 235
GRAND
PRAIRIE, TX
75052

OWNER INFORMATION
SONIA RESENDEZ
(817)239-2488
107FIESTA@GMAIL.COM

LANDLORD INFORMATION
TSCA-245 LIMITED PARTNERSHIP
C/O QUINE & ASSOCIATES, INC
301 S SHERMAN ST. STE 100
RICHARDSON, TEXAS 75081

SCALE: 1/8" = 1'

SUBMISSION DATE
FEBRUARY 29, 2024





CITY OF GRAND PRAIRIE COMMUNICATION

MEETING DATE: 04/22/2024

REQUESTER: Monica Espinoza, Administrative Supervisor

PRESENTER: June Sin, Senior Planner

TITLE: ZON-24-03-0008 - Zoning Change/Concept Plan. Zoning Change creating a Planned Development District for Light Industrial including Data Center uses. 1,430.794 acres generally located west of HWY 287, south of Prairie Ridge Blvd, Parcel IDs 190600, 181262, 261509, 261512, 193077, 179637, 291089, 277740, 179561, 179552, 186391, 242136, City of Grand Prairie Extraterritorial Jurisdiction, Ellis County, Texas

APPLICANT: Daniel Twigge, Provident Realty Advisors, Inc.

RECOMMENDED ACTION: Approve

SUMMARY:

Zone Change creating a Planned Development District for Light Industrial including Data Center uses. 1,430.794 acres generally located west of HWY 287, south of Prairie Ridge Blvd, Parcel IDs 190600, 181262, 261509, 261512, 193077, 179637, 291089, 277740, 179561, 179552, 186391, 242136, City of Grand Prairie Extraterritorial Jurisdiction, Ellis County, Texas.

PURPOSE OF REQUEST:

The applicant wishes to rezone the subject parcels, creating a Planned Development District to allow Light Industrial including Data Center uses.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1. Adjacent Zoning and Land Use

Direction	Zoning	Existing Use
North	Agricultural	Undeveloped, Residential, Prairie Ridge
South	N/A (Grand Prairie ETJ)	Undeveloped, Residential, Industrial
West	N/A (Grand Prairie ETJ)	Undeveloped, Residential
East	PD-451	Undeveloped, Residential

HISTORY:

- April 16, 2024: City Council approved a Development Agreement with Provident Realty Advisors, Inc. on Behalf of Affiliated Entities and Prairie Ridge Municipal Management District No. 1 to Establish Development Standards.

PROPOSED USE CHARACTERISTICS AND FUNCTION:

The applicant wishes to rezone the subject parcels, creating a Planned Development (PD) to allow Light Industrial including Data Center use per the Development Agreement (DA). This zone change request is necessary to align future development in this area with the approved DA. The approved PD allows staff to review any future development applications per the standards established by the DA.

RECOMMENDATION:

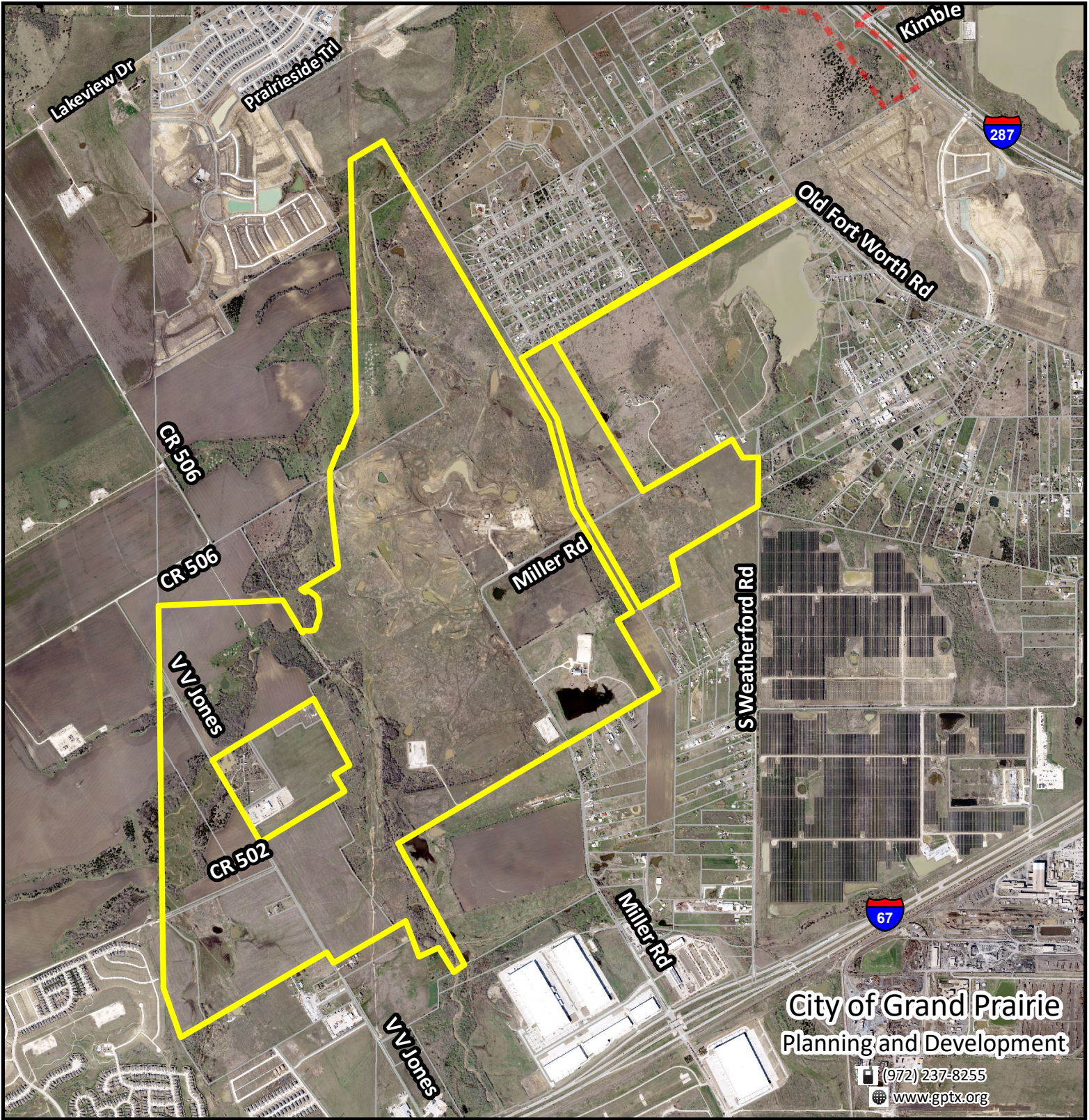
The Development Review Committee (DRC) recommends approval as the proposed zone change is consistent with the approved Developer Agreement.





Exhibit A- Location Map

Page 1 of 1

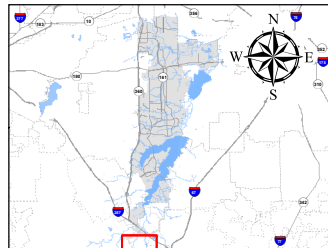
CASE LOCATION MAP
 ZON-24-03-0008
 GOODLAND LIGHT
 INDUSTRIAL

Item 6.



-  Location
-  Street Center Line
-  Parcels
-  City Limits

The City of Grand Prairie has prepared maps for departmental use. These are not official maps of the City of Grand Prairie and should not be used for legal, engineering, or surveying purposes but rather for reference. These maps are the property of the City of Grand Prairie and have been made available to public based on the Public Information Act. The City of Grand Prairie make every effort to produce and publish the most current and accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use, or its interpretation. Utilization of this map indicates understanding and acceptance of this statement.

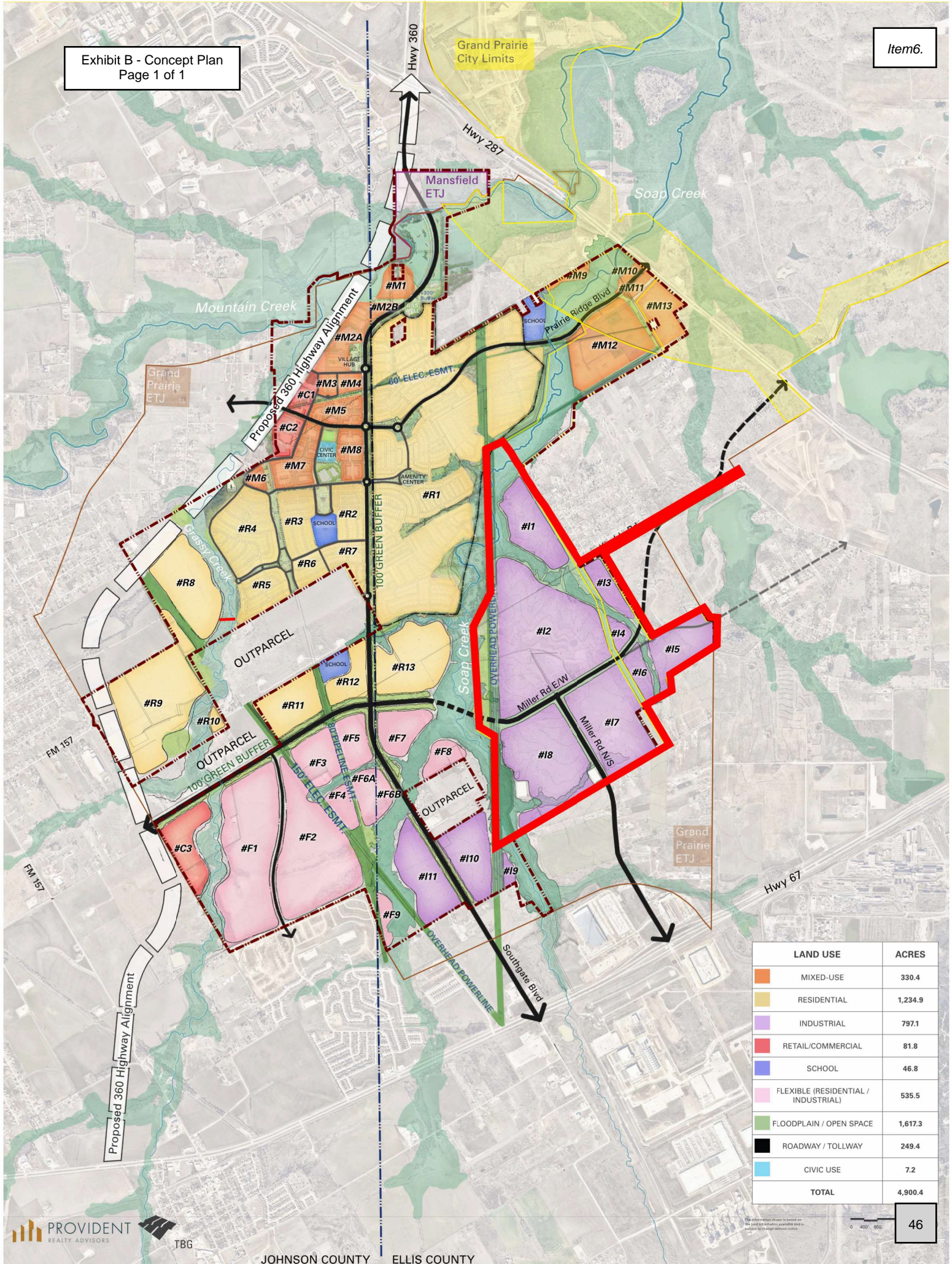


0 0.4 Miles

Grand Prairie
 TEXAS

PLANNING
 Date: 4/4/2024

45



LAND USE	ACRES
MIXED-USE	330.4
RESIDENTIAL	1,234.9
INDUSTRIAL	797.1
RETAIL/COMMERCIAL	81.8
SCHOOL	46.8
FLEXIBLE (RESIDENTIAL / INDUSTRIAL)	535.5
FLOODPLAIN / OPEN SPACE	1,617.3
ROADWAY / TOLLWAY	249.4
CIVIC USE	7.2
TOTAL	4,900.4



CITY OF GRAND PRAIRIE COMMUNICATION

MEETING DATE: 04/22/2024

REQUESTER: Monica Espinoza, Administrative Supervisor

PRESENTER: June Sin, Senior Planner

TITLE: ZON-24-03-0007 - Zoning Change/Concept Plan. Zone Change creating a Planned Development District for Residential, Mixed-Use, Open Space, and Data Center uses. 309.794 acres located west of HWY 287, north and south of Prairie Ridge Blvd, partially zoned Agriculture, Parcel IDs 284558, 190585, 245944, 290818, 190600, 190602, 190596, City of Grand Prairie and City of Grand Prairie Extraterritorial Jurisdiction, Ellis County, Texas

APPLICANT: Daniel Twigge, Provident Realty Advisors, Inc.

RECOMMENDED ACTION: Approve

SUMMARY:

Zone Change creating a Planned Development District for Residential, Mixed-Use, Open Space, and Data Center uses. 309.794 acres located west of HWY 287, north and south of Prairie Ridge Blvd, partially zoned Agriculture, Parcel IDs 284558, 190585, 245944, 290818, 190600, 190602, 190596, City of Grand Prairie and City of Grand Prairie Extraterritorial Jurisdiction, Ellis County, Texas.

PURPOSE OF REQUEST:

The applicant wishes to rezone the subject parcels, creating a Planned Development District to allow Residential, Mixed-Use, Open Space, and Data Center uses.

ADJACENT LAND USES:

The following table summarizes the zoning designation and existing use for the surrounding properties.

Table 1. Adjacent Zoning and Land Use

Direction	Zoning	Existing Use
North	Agricultural	Undeveloped & Concrete Batch Plant
South	N/A (Grand Prairie ETJ)	Residential & Undeveloped
West	N/A (Grand Prairie ETJ)	Prairie Ridge & Undeveloped
East	PD-451	Lake Song (Future)

HISTORY:

- April 16, 2024: City Council approved a Development Agreement with Provident Realty Advisors, Inc. on Behalf of Affiliated Entities and Prairie Ridge Municipal Management District No. 1 to Establish Development Standards.

PROPOSED USE CHARACTERISTICS AND FUNCTION:

The applicant wishes to rezone the subject parcels, creating a Planned Development (PD) to allow Residential, Mixed-Use, Open Space, and Data Center use per the Development Agreement (DA). This zone change request is necessary to align future development in this area with the approved DA for the portion of the property which will be annexed into the City. It is also necessary to zone the portion of property which was already located in City limits to create a cohesive planned development. The mixed-use and residential use areas allows a variety of housing types including single family style units, paired home style units, multi-unit homes, parcHAUS style units, townhome style units, bungalow court, and auto court style units. The residential area will include a maximum density of 12 units/acre and maximum of 1332 units with a portion of the units having a base zoning district of TH and the others having a base zoning district of MF-3. The standards provide the flexibility to transition the mixed-use and residential areas to a data center use. The approved PD allows staff to review any other development applications per the standards established by the DA.

RECOMMENDATION:

The Development Review Committee (DRC) recommends approval as the proposed zone change is consistent with the approved Developer Agreement.

Exhibit A- Location Map

Page 1 of 1





CASE LOCATION MAP
 ZON-24-03-0007
 GOODLAND MIXED USE

Item 7.

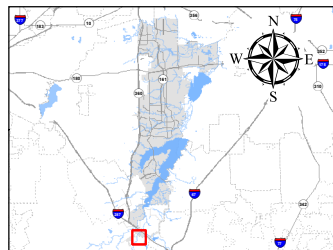


City of Grand Prairie
 Planning and Development

(972) 237-8255
 www.gptx.org

-  Location
-  Street Center Line
-  Parcels
-  City Limits

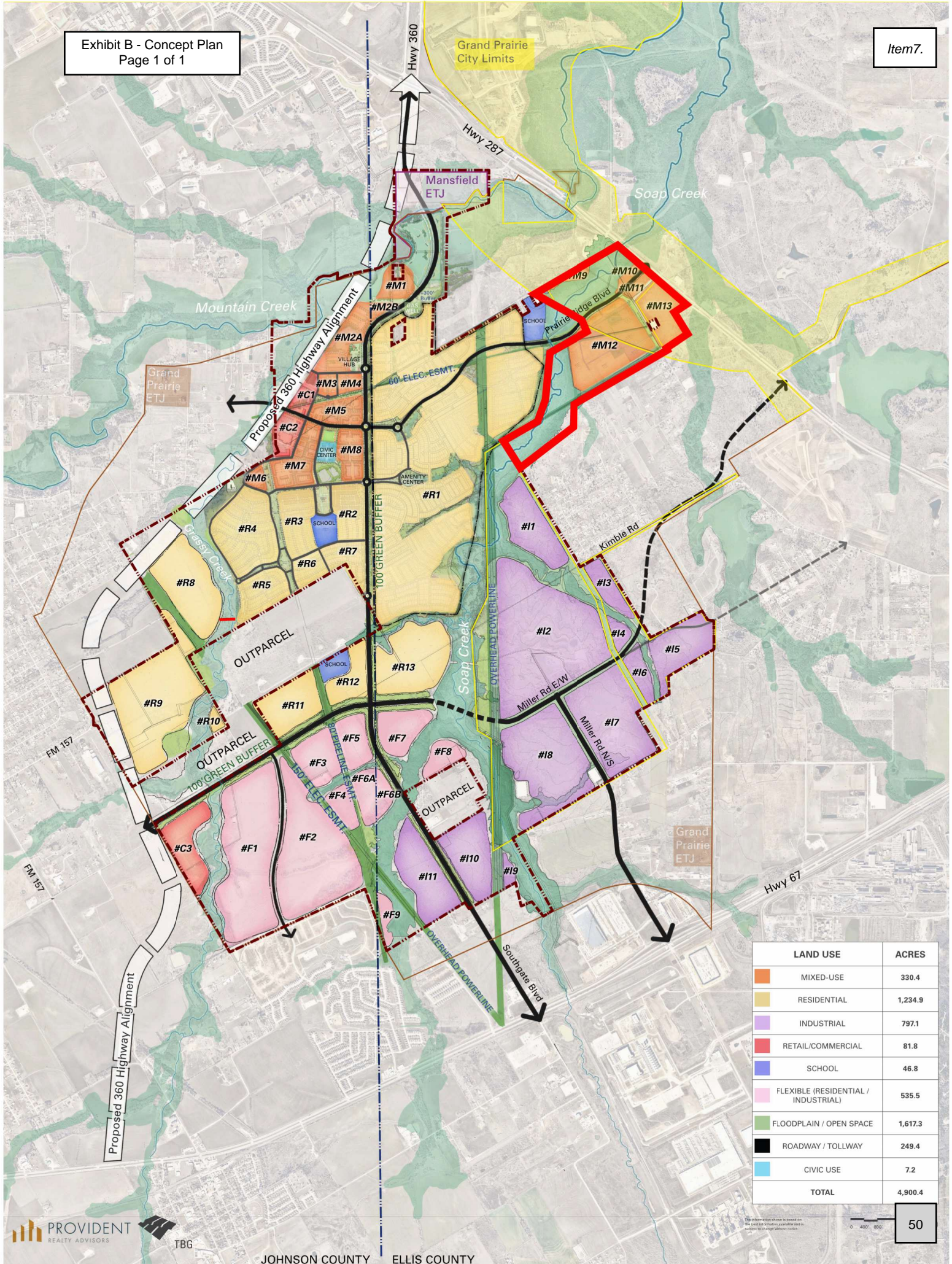
The City of Grand Prairie has prepared maps for departmental use. These are not official maps of the City of Grand Prairie and should not be used for legal, engineering, or surveying purposes but rather for reference. These maps are the property of the City of Grand Prairie and have been made available to public based on the Public Information Act. The City of Grand Prairie make every effort to produce and publish the most current and accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use, or its interpretation. Utilization of this map indicates understanding and acceptance of this statement.



0 0.19 Miles

Grand
 Prairie
 TEXAS

PLANNING
 Date: 3/26/2024



LAND USE	ACRES
MIXED-USE	330.4
RESIDENTIAL	1,234.9
INDUSTRIAL	797.1
RETAIL/COMMERCIAL	81.8
SCHOOL	46.8
FLEXIBLE (RESIDENTIAL / INDUSTRIAL)	535.5
FLOODPLAIN / OPEN SPACE	1,617.3
ROADWAY / TOLLWAY	249.4
CIVIC USE	7.2
TOTAL	4,900.4